



**48 Ft. Frontage
Single Family Residential Lots
Block 1, Lots 1-8 and 32-38**

BUILDER GUIDELINES

FINAL (July 14, 2009)



PROMINENCE

Communities with Heart

BUILDER GUIDELINES
Eagle Crest at Westmount, Okotoks
48ft. Front Single Family Residential Lots

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1.0 INTRODUCTION

1.1 Project Vision

Welcome to Eagle Crest. A home is a special place. It's where memories are made and families grow, providing sanctuary in storm and a place to rest. We are honoured that you have chosen to build in Eagle Crest.

At Prominence, we build Communities with Heart. In Eagle Crest, we have carefully crafted a truly unique neighborhood, an enclave inspired by the land. We've taken Okotoks living to new heights. Perched high atop a hill overlooking Westmount, Eagle Crest offers panoramic views of Okotoks, the rolling Alberta prairie and the majestic Canadian Rockies. With 5 acres of Environmental Reserve, your privacy is protected for generations to come. Eagle Crest is exclusive and special, a perfect place for your custom dream home.

The Eagle Crest Architectural Guidelines are not merely restrictions and rules. Within them, you will find a myriad of options and ideas to encourage the talents of your home designer in capturing the character of Eagle Crest. They are meant to assist you in your home building process with your builder as we strive to fulfill the vision of Eagle Crest together. They represent an effort to establish a common level of thoughtful, high quality architecture fitting of Eagle Crest. Your home may well be one of the largest investments you make, and we desire that your investment stand the test of time. These guidelines exist for your protection, to ensure that the entire neighborhood is built to the highest of standards, establishing Eagle Crest among the premier communities in Okotoks.

1.2 Terminology & Applicability

- 1.2.1 The "Developer" shall refer to Prominence Realty Ltd. with Prominence Development Corp. as its manager.
- 1.2.2 The "Architectural Co-ordinator" shall refer to the house plan reviewer appointed by the Developer.
- 1.2.3 "Builder" shall refer to single family home builders, their assignees, trades, and sub-trades that operate within the Westmount, Okotoks project.

2.0 GOVERNANCE AND ADMINISTRATION

2.1 Builder Responsibility

- 2.1.1 Approvals by the Developer, its Architectural Co-ordinator or its other consultants shall be limited to the Developer's requirements and does not represent approval or compliance with any engineering requirements or any legal requirements of the Town of Okotoks or any other government agency or body, all of which are the sole responsibility of the Builder. The house plan approval process is provided as a service. While care is taken to provide precise data, the Developer, its Architectural Co-ordinator and other consultants assume no responsibility for the accuracy of the information given in documents, or for any losses or damages resulting from the use thereof. It remains the responsibility of the Builder to ensure that the construction of any buildings on the Lot conform with Provincial, City or Municipal laws, regulations, By-Laws, or other enactments and encumbrances affecting the title to the Lot, including, without limitation, utility rights of way, easements, restrictive covenants, inter-lot grades and the requirements of the grade slip. The Builder is also responsible for the provision of all bearing certificates and footing elevation certificates, which may be required for the installation of sulphate resistant concrete or any other precautions in foundations where necessary.
- 2.1.2 The Developer, its Architectural Co-ordinator and its other consultants assume absolutely no responsibility to ensure that the building complies with all the foregoing.

2.2 Governing Board (Architectural Design Review Committee)

- 2.2.1 The Architectural Design Review Committee shall be comprised of the Architectural Co-ordinator and other members designated by the Developer from time to time.
- 2.2.2 The Architectural Design Review Committee, at its discretion, has the sole authority in granting or permitting variations and/or exceptions to the Builder Guidelines on a case to case basis. Requests for variations and/or exceptions to the Builder Guidelines must be made in writing prior to or at the time of house plan review submission. If the request is approved by the Architectural Design Review Committee, the applicant will be informed in writing.
- 2.2.3 If at the time of construction on site, errors or discrepancies are noticed from information received at the time of approval, or from engineering drawings, or from existing site grading, or

existing homes the builder is to contact the Architectural Co-ordinator so that the discrepancy may be reviewed and adjustments made to accommodate the existing site construction.

2.3 Submission and Approval Requirements

- 2.3.1 Submission and Approval Requirements are established by the Architectural Co-ordinator. Electronic submission in DWG format will be required.
- 2.3.2 One review submission and approval cycle is included with each lot. In the event that the Builder and/or the Homeowner submits a new house plan and/or requests any changes to the House Plan Approval and/or the Grade Slip subsequent to the initial approval issued by the Architectural Co-ordinator, the Builder shall provide a Revision Review Fee of \$500 per review payable to Prominence. Revision Reviews will not be conducted by the Architectural Co-ordinator until payment is received. Payment of the Revision Review Fee does not ensure that the proposed revisions will be accepted, and the Architectural Co-ordinator reserves the right to deny any and all revisions at their sole discretion according to the Builder Guidelines.

3.0 NEIGHBORHOOD CHARACTER

3.1 Massing

3.1.1 To enhance the character of the subdivision, special attention should be paid to the massing of each house type. Sections 3.1.2 and 3.1.3 provide recommended square footages for building footprints, however, the Architectural Co-ordinator will make house plan approvals based on massing.

3.1.2 The following are the minimum square footages recommended for 48'-0" wide or larger lots.

Bungalows	1500 sq ft	
Split Levels	900 sq ft (main)	1550 sq ft total
Bi-levels	1300 sq ft	
Two storeys	900 sq ft (main)	1750 sq ft total

3.2 Exterior Detail and Design

3.2.1 All homes backing onto or siding onto open space amenities (including Municipal Reserve, school site, and access trails) will be required to have detailing on all four sides.

3.2.2 Detailing and design elements are to be consistently expressed on all four sides of the home.

3.2.3 To enhance the variety of exterior details and treatments, special attention must be given to windows and roof gables. These details include but are not limited to window size and shape, window grids or mullions, and batten size, shape and location.

3.3 Plan and Elevation Repetition

3.3.1 The same Front Elevation cannot be repeated within two homes on either side of the home being submitted or in the three homes across the street.

3.3.2 The same Rear Elevations of homes backing on to open space amenities (including the Municipal Reserve and access trails) cannot be repeated within two homes on either side of the home being submitted.

3.3.3 The Architectural Design Committee will have the final decision on how often a floor plan and/or exterior may be repeated within a phase. Variety in floor plans and elevations are encouraged.

3.4 Building Setbacks

- 3.4.1 Builder must comply with setbacks established by the Town of Okotoks Land Use By-Laws.

3.5 Garage Placement

- 3.5.1 The Garage must be located according to the Building Grade Plan.
- 3.5.2 The minimum garage width to be 20'-0".
- 3.5.3 The maximum offset for the garage to the side of the home next to the property line is 4'-0".

3.6 Front Porches

- 3.6.1 If the house has a front porch or columns on the front elevation, the columns are to be expressed in proportion to the home, but should be a minimum of 8" in diameter. The style and proportion of the columns must be compatible with the style of the home.

3.7 Decks and Patios

- 3.7.1 Columns supporting rear decks, that are 3'-0" or higher above grade, are to be a minimum of 10"x10". Top and bottom capping detail is required.
- 3.7.2 Rear decks that are higher than 2'-0" above the finished grade are to be built by the builder at the time of construction of the home. These decks should be a minimum of 80 sq. ft. in size. Deck design must be provided at the time of submission.
- 3.7.3 Porch and deck railings may be painted or pre-finished.

3.8 Walkout or Partial Walkout Lots

- 3.8.1 Three storey homes on walkout lots or partial walkout lots will need more than second floor decks to break up the elevations. The elevation is to have a horizontal break, including a roofline. The step from one plane to the next on the rear face of the home is to be a minimum of two feet (600mm).
- 3.8.2 On walkout lots or partial walkout lots, appropriate windows and doors should be in place on the drawings.

3.9 Corner Lots

- 3.9.1 On corner lots bungalows, bi-levels and side splits are preferred. Two storey elevations siding on to the street will need the elevation to have a horizontal break, including a roofline. The step from one plane to the next on the side face of the home is to be a minimum of two feet (600mm).
- 3.9.2 Builders are required to provide detailing on all front, side and rear elevations on corner lots. Use of significantly more window area, bays, battens etc. is required.

4.0 ARCHITECTURAL DETAILS

4.1 Exterior Cladding

- 4.1.1 Finishing materials are to be consistently applied on all elevations except for brick or stone. The following exterior materials will be permitted:
- Horizontal fiber cement siding
 - Stucco – with trim details
 - Brick
 - Stone (Use of cultured stone is permitted, but must be applied in a realistic manner and should not be applied in a manner that real stonework could not normally be applied.)
- 4.1.2 Minimum usage of Brick or Stone is required according to the specifications contained in Section 6.2.
- 4.1.3 If Brick or Stone is used, the material is to be returned a minimum of 2'-0" on corners.
- 4.1.4 A capping detail is required on all masonry.
- 4.1.5 All flashing on house walls/masonry to blend with the cladding.
- 4.1.6 Use of a third or decorative cladding material is strongly encouraged. See the chart and illustrations on Decorative Elements in Section 6.2.
- 4.1.7 On Front Elevations, long uninterrupted wall planes of siding will not be permitted. Elements such as window openings, roof planes, and decorative features must be present every 5'-0" linear feet.

4.2 Color Hierarchy

- 4.2.1 Use of colors such as blue, blue grey, burgundy, pink or bright yellow for the primary cladding color will not be approved.
- 4.2.2 Corner boards on the siding clad homes should be a contrasting color to main cladding color, unless such a color scheme conflicts with the architectural style of the house.
- 4.2.3 If shutters are used, the front door and shutters should be a third color on the house.
- 4.2.4 The Architectural Design Committee will have the final decision on both color combinations and colors allowed in the area.

4.3 Roof Treatment

- 4.3.1 Main roof overhang to be minimum 450mm and a minimum of 150mm (6") on boxed out should be used.
- 4.3.2 Minimum slope of 5:12.
- 4.3.3 The roof material is to be equal to IKO Cambridge (minimum 25 year). The color is to match Driftwood. Other colors may be approved if in coordination with overall house color scheme.

4.4 Soffit, Fascia, Gutters and Downspouts

- 4.4.1 Soffits and fascias to be prefinished aluminum or vinyl.
- 4.4.2 Eye-level flashing, valleys and vents are to be painted.
- 4.4.3 When colors such as Burgundy, Forest Green, Pacific Blue or Heritage Blue are used on the fascia, the soffit is to match the siding color or be white, linen or ivory.

4.5 Chimneys, Flues and Roof Vents

- 4.5.1 All chimneys and flues are to be boxed in and at a minimum clad with the siding material. Capping detail required. The flue to extend a maximum of 1'-0" above the box.
- 4.5.2 All roof stacks, vents and flashings must be blend with the roof color.

4.6 Fireplaces

- 4.6.1 On all lots the fireplace vents are not to be visible from the street.

4.7 Entry Treatment

- 4.7.1 The front entrance treatment is very important. Details such as sidelights, front decks, windows in the front door, batten detail, etc. are required.
- 4.7.2 Half round or wagon wheel windows are not to be used in the front door.
- 4.7.3 The front step is to be a minimum of 6'-0" wide facing the street.

4.8 Window Treatment

- 4.8.1 Window grids on the front elevation are optional, but may be required if other details are missing. Window grids may be required on the rear elevations as part of the detail requirement.
- 4.8.2 Window styles should be consistent on all sides of the home.
- 4.8.3 Batten detailing will generally be required on all four sides of the windows.

4.9 Garage

- 4.9.1 All lots require front attached garages. Corner lots may have side-accessed garages.
- 4.9.2 Raised panel garage doors are required as a minimum. Garage doors are to be painted to match the main cladding color.
- 4.9.3 The maximum space between the overhead garage door and the soffit line is 16".

5.0 LOT ELEMENTS

5.1 Grading and Drainage

- 5.1.1 Inappropriate or incompatible house design for the Engineered building grade plan will not be approved. The builder will be required to construct at the builders/owners expense any retaining walls that are required due to inappropriate house design.
- 5.1.2 Unless otherwise noted in writing prior to house construction, all retaining walls are the responsibility of the builder/owner.
- 5.1.3 The Developer, its Architectural Co-ordinator, and the Developer's consultants do not take any responsibility for inter-lot grades and for any retaining walls which may be required on or between lots. Inter-lot (property line) retaining walls must be

installed and paid for by the first Builder effecting grades adjacent to the property line in such a way as to necessitate a retaining wall (i.e. increasing finished grade beyond 3:1 slope). Any disputes that may arise regarding responsibility for inter-lot grades and/or retaining walls are to be resolved by the Builder and their contractors. Should a dispute not be resolved prior to the Developer obtaining final acceptance of the subdivision by the Town of Okotoks for overland drainage or final acceptance for lanes, then the required grading and/or walls may be built by the Developer and charged back equally to the Builders of the two lots plus an administrative fee.

- 5.1.4 All retaining walls constructed by the Builder and/or the homeowner must conform to the specifications of the Town of Okotoks.
- 5.1.5 Builders must respond to lot slope with an appropriate house design. Side split-level design should be used on a lot with greater than 3-foot slope across the lot width. Where the back to front change in grade falls between a 1:6 and 1:3 slope, a front to back split-level should be used.
- 5.1.6 Grade should always slope away from the house. Where the rear grade elevation is higher than the grade around the house, swales should be constructed to direct the drainage away from the house. They should be placed approximately 10 feet from the house at a minimum 2% slope away from the house.

5.2 Driveways and Walkways

- 5.2.1 Driveways and front sidewalks to be constructed of broom finished concrete as a minimum.

5.3 Lot Fencing

- 5.3.1 The rear/side property line fence for lots backing onto or siding onto the open space amenities (including the Municipal Reserve and access trails) is to be four foot high black vinyl chain link fence.
- 5.3.2 Dual fencing is not permitted. Only one fence on the dividing property line is permitted.
- 5.3.3 If the heights of sections of fence vary, an appropriately sloped transition from one height to the other is required.
- 5.3.4 Fencing in the front yard will not be permitted.

5.4 Landscaping

- 5.4.1 Once the homeowner takes possession of the home, all landscaping on the lot must be complete within the first growing season.

6.0 HOUSE CHARACTER VALUATION SYSTEM

6.1 Outline

- 6.1.1 Architectural details can add value and character to a house. To ensure and enhance the quality of homes in this subdivision, Section 6.2 provides a point-based valuation system to be used by builders in making essential design considerations regarding the exterior character of a house. The system established here will also be the basis of evaluation and approval by the Architectural Co-ordinator.
- 6.1.2 Each house design submission must meet the required minimum as set for each of the categories plus a combined total of **10 points** or more selected from at least **3 categories**.
- 6.1.3 Builders are not limited by the features/elements suggested in this section; creativity in providing appropriate design solutions is encouraged. However, the Architectural Design Review Committee retains sole authority in granting permission for exceptions to these guidelines on a case to case basis.

6.2 Point Charts

6.2.1 Exterior Cladding in Stone or Brick

Required minimum stone or brick:	4'-0" high wainscot base framing each side of garage door	n/a
6.2.1.A	6'-0" high wainscot base framing each side of garage door	1 pt.
6.2.1.B	Front porch column(s) base to match or exceed height of garage wainscot base	1 pt.
6.2.1.C	Full stone or brick around top and sides of garage door	2 pt.
6.2.1.D	Application of stone or brick on the front elevation other than around the garage and at the front porch column(s). (i.e.: entrance, planes extending up to the second floor, gable ends). Use of cultured stone should appear realistic and should not be applied in a manner that real stone normally could not be applied.	2 pt.

*All cladding material is to be returned a minimum of 2' – 0" on corners
 **A capping detail is required on the masonry

6.2.2 Decorative Elements

6.2.2.A	Special attention given to gable ends via complementary material expressions, such as vertical siding, cedar shakes, or decorative panels. Such applications would be considered the third cladding material.	2 pt.
6.2.2.B	Decorative brackets / louvers / millwork / mouldings	1 pt.

6.2.3 Entry Treatment

Required elements:	- Front deck - Batten detail around front door - Sidelights: a framed (full-length x 1' width) of fixed glass along one side of front door as minimum	n/a
6.2.3.A	Additional glazing alongside front door, and/or windows in the front door	1 pt.
6.2.3.B	Features such as bay windows, or other considerable addition of window area adjacent to the front entrance	2 pt.
6.2.3.C	Special attention given to porch column (i.e. set on base but not necessarily made of stone or brick)	1 pt.

6.2.4 Window Treatment

Required:	4" or 6" batten detailing on all four sides of windows	n/a
6.2.4.A	Window grids or mullions complementary to the style of the home (Note: window styles should be consistent on all sides of the home)	1 pt.
6.2.4.B	Shutters alongside main windows on front elevation, and maybe required on rear elevation if other details are missing	1 pt.
6.2.4.C	Accent windows in non-rectangular shapes or a "feature" rectangular window	1 pt.

6.2.5 Garage

Required:	Raised panel garage doors as a minimum	n/a
6.2.5.A	Special attention given to the shape and frame of garage doors. For example – use of arch / keystone	1 pt.
6.2.5.B	Windows in garage door (must be continuous across entire width of door)	2 pt.

6.2.6 Driveway and Front Walks

Required:	Driveways and Front Walks to be constructed of broom finished concrete as a minimum	n/a
6.2.6.A	Finish with exposed aggregate	2 pt.
6.2.6.B	Finish with stone or concrete pavers	3 pt.
6.2.6.C	Front walk to Entry separate from the driveway	2 pt.

6.2.7 Example Diagrams



Diagram 1: Third or Decorative Cladding on Gable Ends

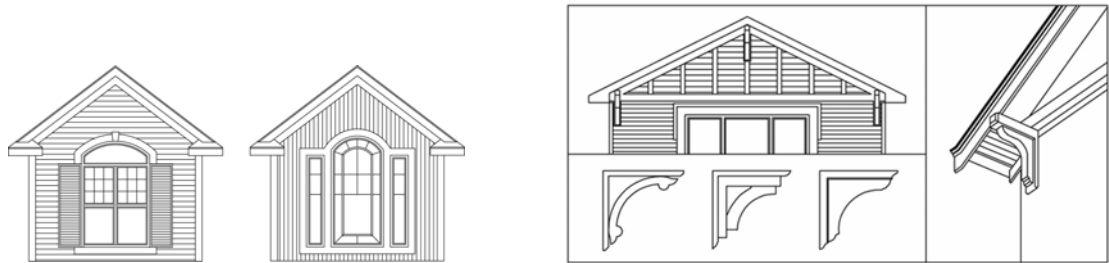


Diagram 2: Accent Windows

Diagram 3: Decorative Brackets