



# ARCHITECTURAL GUIDELINES

*for Estate-Sized Home Sites*



## *Welcome to Westmount Estates*

Your home is a special place. It's where memories are made and families grow, providing sanctuary in storm and a place to rest. We are honoured that you have chosen to build your home in Westmount Estates.

At Prominence, we build Communities with Heart. In Westmount Estates, we have carefully crafted a truly unique neighborhood, an enclave inspired by the land. We've taken Okotoks living to new heights. Perched high atop a hill overlooking Westmount, Westmount Estates offers panoramic views of Okotoks, the rolling Alberta prairie and the majestic Canadian Rockies. With 5 acres of Environmental Reserve, your privacy is protected for generations to come. Westmount Estates is exclusive and special, a perfect place for your custom dream home.

The Westmount Estates Architectural Guidelines are not merely restrictions and rules. Within them, you will find a myriad of options and ideas to encourage the talents of your home designer in capturing the character of Westmount Estates. They are meant to assist you in your home building process with your builder as we strive to fulfill the vision of Westmount Estates together. They represent an effort to establish a common level of thoughtful, high quality architecture fitting of Westmount Estates. Your home may well be one of the largest investments you make, and we desire that your investment stand the test of time. These guidelines exist for your protection, to ensure that the entire neighborhood is built to the highest of standards, establishing Westmount Estates among the premier communities in Okotoks.

This document is organized by a few sections:

- 1. Introduction** - outlines the process for Architectural Approval.
- 2. Community Character** - describes the relationship between homes and the exterior form.
- 3. Architectural Details** - the unique features that make each home special.
- 4. Lot Elements** - the landscape, grades and other features pertaining to your property outside the home itself.



## *INTRODUCTION*

Westmount Estates has 22 estate-sized home sites. These are located at Block 1 Lots 10-31, representing some of the finest custom view lots in Okotoks. These architectural guidelines govern the estate-sized lots in Westmount Estates only.

### *The Next Steps*

Prior to construction of your home a few simple steps are necessary:

1. Enter into a Purchase Agreement to secure your lot. Receive and review your lot plan, and Architectural Guidelines.
2. Select an architect/home designer/home builder
3. With your designer, create a conceptual plan of your home, including: floor plans, elevations, site plan, landscape plan and the Colour & Material Selection Form; using the Architectural Guidelines as your reference.
4. Apply for **conceptual architectural review** by submitting drawings in CAD to Prominence's Architectural Reviewer. The Architectural Reviewer will either return the submission with approval to proceed to construction documents, or provide comments for revisions.
5. Once conceptual approval is provided, create construction documents for your home.
6. Apply for **grade slip approval** by submitting construction documents in CAD to Prominence's Architectural Reviewer. The Architectural Reviewer will either return the submission with a grade slip necessary for the Town of Okotoks to issue a building permit, or provide comments for revisions.
7. Take the grade slip and the construction documents to the Town of Okotoks for a building permit. Once the building permit is issued, you may then commence construction.



## Architectural Approval

The Architectural Reviewer, as appointed by Prominence, will utilize the Westmount Estates Architectural Guidelines to make judgements as to the suitability of your design for the character of Westmount Estates.

Architectural details can add value and character to a house. To maintain continuity within the community, minimum requirements are specified in each section. However, certain sections of the Architectural Guidelines that follow provide a point-based valuation system to reward the use of particular features in making essential design decisions. This provides choice while maintaining a high standard of quality.

In addition to meeting the required minimums for certain architectural details, each house design must incorporate a combined total of **14 points** or more selected from at least **6 categories**. The available points can be found on charts on the right hand side of the pages that follow.

Category	Points	Category	Points
Front Entrance & Porches		Entry Door	
Garage Placement		Window Treatment	
Exterior Cladding		Garage Door	
Roof Treatment		Driveways & Walkways	
Finishing Elements & Decorative Details		Landscaping	

Home Designers are not limited by the features/elements suggested; creativity in providing appropriate design solutions is encouraged. Awarding points for features not specified in these guidelines may be considered by the Architectural Reviewer. Variances to the minimum guidelines may be requested in writing. However, the Architectural Reviewer retains sole authority in granting permission for exceptions to these guidelines on a case by case basis.



## COMMUNITY CHARACTER

Westmount Estates breathes nature and we hope that the natural beauty and setting of Westmount Estates inspires you and your home designer. As such, no particular architectural style or collection of styles is prescribed for Westmount Estates. This is important, because your home reflects your dreams and personality. However, no home stands alone, but is in a context of the community and should bear a positive relationship to its neighbors. Homes of different sizes and architectural styles can compliment each other if they share a thread of common elements, exhibiting consistency in form, massing, and attention to detail.

### *Form and Massing*

While style can be of your choosing, special attention should be paid to the form and massing of your home.

1. When possible, the form of the home should follow the natural lay of the land, with a strong emphasis on horizontal lines. Houses should move and flow with the land suiting its natural topography. Homes that fight against the natural topography of the lot or are unnecessarily invasive to the land will not be permitted.
2. The form of the home should not be just a simple box, but should be multi-planar and incorporate projections and recesses that make for interesting architecture.
3. The mass of your home should be in proportion and balance visually as viewed from the street. Roofs should not be overbearing. Portions of the building mass, and in particular garages, should not protrude in a fashion that dominates the front elevation. Instead, all home elements should be integrated into the overall design.
4. The maximum site coverage of the home should not exceed 40% inclusive of the footprint of the primary home, garage and any accessory buildings.
5. The minimum habitable floor area should be 1,600 SF for bungalows and



Example of Multi-Planar Form

2,200 SF for 2 story homes, inclusive of all finished above ground square footage, excluding basements and garages.

- Please refer to Appendix 1 for setback requirements for individual lots. Town of Okotoks Land Use By-Laws control all other setbacks.

### *Front Entrance & Porches*

Front entrances present a welcoming face to the street and should be a design focal point. Therefore all homes must have a covered front porch facing the street. Entry canopies should not tower over people arriving, but should be low-scaled and intimate. Two-story entry elements will generally not be permitted. Porches should be deep enough to accommodate furniture, at least 1.8m (6'-0") deep. The style and proportion of columns must be compatible with the style of the home and should be large enough to appear able to support the loads they carry. Use of arches and decorative heavy timber trusses is encouraged.

**Required elements:**

- Covered front entry
- Porch facing the street at least 6'-0" deep

**Points:**

2	Special attention given to detailing of columns
2	Use of stone as base for columns
1-3	Use of arch or decorative heavy timber truss

### *Exterior Detail and Design*

All homes must be designed with equal care and attention to detail on all four sides. Proportions and design elements must have a clear relationship to one another on adjacent walls. There should be logic and balance to the pattern of windows on all four sides of the house. Materials must be carried around the house for continuity. To enhance the variety of exterior details and treatments, special attention must be given to the most prominent areas of the house such as the front porch, gable ends, decks and site fixtures. Detailing can include, but is not limited to:

- cladding materials
- column type, size and placement
- railing materials and design
- window size, shape and placement
- window grids or mullions, and
- trim size, shape and placement



Example of a  
Decorative Covered Front Entry

## Plan and Elevation Repetition

To maintain the quality of the community, variety in floor plans and elevations are encouraged. Homes with substantially the same front elevation will not be permitted. Rear elevations should also be unique. The Architectural Reviewer will have the final decision as to the extent to which an elevation is substantially similar to another.

## Garage Placement

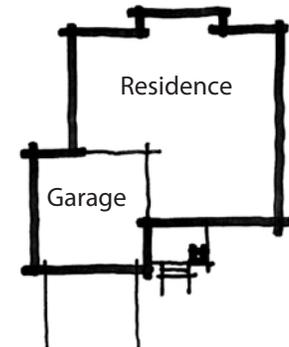
The garage design should be incorporated into the overall design of the house and should not draw attention to itself. When allowed by the site, side-facing garages are preferred. When this option is chosen, the street-facing side or side along the front elevation should be articulated to reflect the rest of the house. The driveway connection point to the street must be located according to the Building Grade Plan.

Garage faces are to be downplayed in scale and character. Street facing garages may be a maximum of 2.5 m (8'-3") forward from the face of the house. Triple car garages are allowed but all three garage doors cannot be on the same wall plane. At least one door must be stepped back from the primary wall plane a minimum of 0.45m (18").

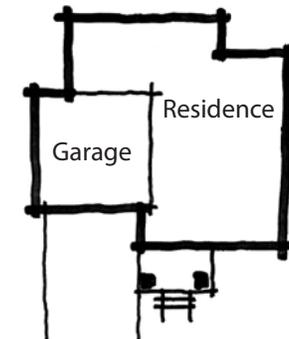
## Decks and Patios

Ground level terraces or patios are preferable to large, above-ground decks. They should be constructed of natural stone, pavers or exposed aggregate pavers so as to compliment the house and blend with the landscape.

Above-ground decks should be kept to a minimum and should not look tacked on as an afterthought. They must have sturdy-looking structures of timber and/



**Maximum:**  
Garage protrudes 2.5m from the primary face of the house



**Preferred:**  
Garage is set behind the primary face of the house

### Required Elements:

- If 3-car garage option is used, the third bay must be on a different wall plane.

### Points:

2	Use of two or three 1-car openings instead of one 2-car opening
1	Garage is set on an even plane with the primary face of the house
1-3	Garage is set behind the primary face of the house
2	Third garage bay, if present, is not adjacent to the double garage bay
3	Garage door placement does not face the street.

or stone to match the house. Detailing must be designed to be proportional to the structure and match that of the house. Decks that are 0.6m (2'-0") or greater above finished grade must be constructed at the time of construction of the home prior to occupancy. Deck design must be provided at the time of submission.

Porch and deck railings may be painted or pre-finished. Wrought iron or clear stained wood railings are preferred.

### *Walkout or Partial Walkout Lots*

Walkout designs will only be permitted on lots designated as such on the building grade plan. Large-scale grading to create a walkout basement or otherwise accommodate a particular building design will not be permitted.

Three storey homes on walkout lots or partial walkout lots are permitted but additional articulation to help break up the rear elevations will be required. The walk-out elevation is to have a horizontal break, in addition to a roofline, such as a belt-band and/or material transition. The house is to be a maximum height of 10m (32'-10") measured from the average height of all the roof peaks to ground elevations (Average of "A" + "B" in the Diagram 1). Eaves are to be a maximum height of 7.62m (25'-0") above the adjacent grade on all elevations (noted as "C" in the Diagram 1).

### *Corner Lots*

On corner lots, two storey elevations siding onto the street will need to have a horizontal break, including a roofline. The step from one plane to the next on the side face of the home is to be a minimum of two feet (600mm). On corner lots, garage on side access is encouraged. The side elevation facing the street must have the same level of detail as the front elevation including appropriate window openings.



Diagram 1  
Height Calculation

## ARCHITECTURAL DETAILS

The architecture of Westmount Estates focuses on details: features and elements that define a home and bring it distinction. There is vast potential for creativity beyond the minimum standards set herein.

### Exterior Cladding

Use of stone as an exterior cladding material is required and should be carried along the side walls to a logical termination point. On homes that back onto open space or escarpment, stone is also required on the rear elevation. Arbitrary termination of stone in the middle of a wall will not be accepted. A capping detail is required on all masonry. All flashing on house walls/masonry are to blend with the cladding.

Finishing materials are to be consistently applied on all elevations. The following exterior materials will be permitted:

- Wood siding in clapboard, drop/cove or lap profiles
- Fire-treated wood shingles
- Hardboard or cement board siding with profiles similar to wood siding
- Stucco, with trim details – rough “dash” or machine-sprayed natural surface preferred
- Stone (Use of cultured stone is permitted, but must be applied in a realistic manner and should not be applied in a manner that real stonework could not normally be applied.)

Vinyl Siding and Brick are not permitted as the primary cladding material. However, brick as an accent and trim may be permitted in natural earth tone colours only.

Use of a third or decorative cladding material is strongly encouraged. However, where four or more materials are used, restraint must be exercised to avoid a cluttered appearance.



Example of Third Cladding Material

#### Required minimum:

- Stone covering 40% of front elevation
- Stone covering 15% of side elevation

#### Points:

2	Use of stone on a wall projection from ground to roof
1-3	Use of stone greater than minimum on front elevation
1-3	Use of stone on side & rear elevations greater than minimum
2	Use of a third cladding material

Long uninterrupted wall planes of siding will not be permitted. Elements such as wall projections with cladding changes, window openings, roof planes, trim work and decorative features must be present to help articulate an elevation.

### *Colour Hierarchy*

Colours should be chosen from the site itself, derived and inspired from the setting of the home. The primary house colour should consist of warm earthy tones or should be true to the colour of the material being use. Use of bright or flourescent colours such as blue, blue grey, burgundy, pink or bright yellow for the primary cladding colour will not be accepted.

Corner boards and trim work should be a contrasting colour to the main cladding colour, unless such a colour scheme conflicts with the architectural style of the house. If shutters are used, the front door and shutters should be an accent third colour. The Architectural Reviewer will have the final decision on both colour combinations and colours allowed in the area. Substantially similar colour schemes will not be approved on adjacent homes or on homes directly across the street.

### *Roof Treatment*

The roof planes should not be so large as to overwhelm the walls or too small as to look trivial. While two and three-story (on rear elevation of walk-out lots, backing escarpment) homes are permitted, it is preferred that the upper floor be incorporated into the roof structure using dormers and gables. The eave line of the primary roof should predominate.

Using a simple roof shape can reinforce the visual order of the elevation below. Therefore, avoid using more than two roof styles. The colour of the roof should be an integral part of the overall colour scheme and compliment the elevation.



**Required minimum:**

- 30-yr. architectural-grade high profile asphalt shingles

**Points:**

2	Use of wood shingles
3	Use of slate tiles
3	Use of concrete roof tile – flat profile only

The main roof overhang is to be a minimum of 450mm (18”) and a minimum of 150mm (6”) is to be used on boxed out elements. Roof slopes are to be minimum of 5:12.

The following roof materials are permitted:

- 30-yr. architectural-grade high profile asphalt shingles
- Wood shingles
- Slate tiles
- Concrete roof tiles – flat profile only

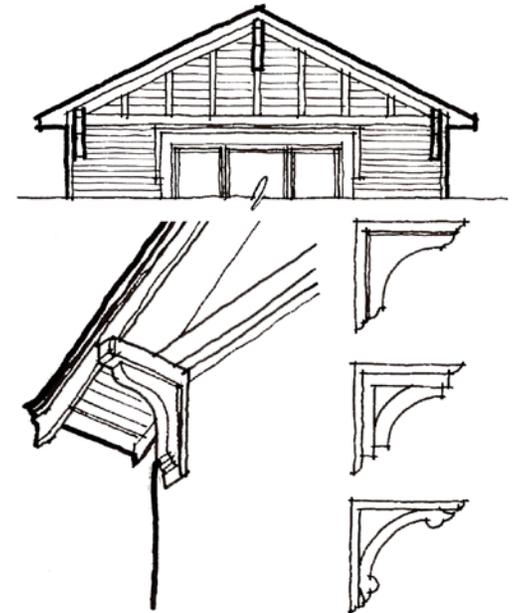
### *Finishing Elements and Decorative Details*

Special attention should be given to gable ends via complementary material expressions, such as vertical siding, cedar shakes, or decorative panels. Such applications would be considered a third cladding material.

Fascias should be strong in appearance and appropriately sized for the style of the home. Soffits and fascias are to be in colours coordinating with those of the house. Eye-level flashing, valleys and vents are to be painted.

When darker colours such as burgundy, forest green, or blue are used on the fascia, the soffit is to match the siding colour or be white, linen or ivory.

Chimneys should be substantial in proportion and built to give the appearance of strength and stability. Stone should be used on chimneys. Chimneys simply boxed out and clad with the siding material are strongly discouraged unless it is appropriate to the architectural style of the house. Capping details are required. Creative shapes and caps of stone are encouraged. The flue should extend a maximum of 1’-0” above the box. All roof stacks, vents and flashings must blend with the roof colour.



Example of Decorative Brackets

**Points:**

1-3	Use of wall projections and/or cladding transitions
1-3	Use of dormers
1-3	Decorative brackets / louvers / millwork / mouldings
2	Accent metal roof pieces of copper or some other contrasting material
2	Stone chimney with cap

Where gas fireplaces are used, top-vent models with operating chimneys are preferred. If direct-vent (i.e. side vent) models are used the vents must not be visible from the street or green spaces.

### *Entry Door*

The front entrance treatment is very important. Doors should be creatively designed to suit the architectural style of the house. The approach to the entrance should be inviting. Entries are to face the street. Secondary doors cannot face the street.

Insulated metal doors will be permitted if they have a design appropriate to the architectural style of the house and they are painted. A brightly coloured door, coordinated to the trim and other exterior colours can provide an attractive accent to a home. However, wood doors, especially in a clear finish or semi-transparent stain are preferred.

Details such as sidelights, front porches, windows in the front door, and trim detailing, are required. Additional details such as transoms, stained glass windows, wood frame-and-panel doors, double doors and iron knockers are encouraged. Transoms above the door should never be larger than the door itself, and sidelights should not be wider than half the width of the door.

While glass in the front door is encouraged, half round or wagon wheel windows are not permitted.



**Required elements:**

- Trim detail around front door
- Sidelights, a framed (full-length x 1' width) fixed glass along one side of front door

**Points:**

1	Transom above front door
1	Sidelights on both sides of door
1	Window(s) in the front door
2	Double door in place of single door with sidelights
1	Decorative wood door with clear finish or semi-transparent stain
1	Decorative door with non-rectangular top

## Window Treatment

It is important to integrate windows into the design to allow the interior space adequate light and views, while also keeping the exterior elevation in balance. Interest can be added to an elevation by creating patterns with windows or using windows as accents; however, windows should fit the walls they occupy. Do not add windows just for the sake of adding windows.

Large windows should be subdivided into smaller sections by mullions. Window grids are required. Window styles and detailing should be consistent on all sides of the home. Shutters must be realistically sized, even if inoperable.

Windows located above another should be vertically aligned with the lower and window heads should be lined up horizontally on each level. Windows on the second floor should be smaller or equal in size to those on the main level.

## Garage Doors

Garage doors should be of a material and detailing compatible with the rest of the house. They may be painted metal, however genuine materials are preferable. Decorative or faux style doors must be believable and realistically applied. Any windows in the garage door must match the character of the windows in the rest of the house.



### Required Elements:

- 4" or 6" batten trim detailing on all four sides of windows, except when set in stone or stucco
- Window grids complementary to the style of the home

### Points:

1	Use of shutters sized appropriately for window size
1-3	Accent or feature windows
1-3	Decorative window trim
3	True divided light window panes
1-2	Exterior expressed window grids matching the style of the trim

### Required Elements:

- Raised panel garage doors as a minimum
- If 3-car garage option is used, step in garage plane

### Points:

1	Arch or keystone in garage frame
1	Row of windows in garage door
2	Use of (2) 1-car openings instead of (1) 2-car opening
3	Wood garage door or "specialty" door based on a historical style
2	Decorative door with brackets matching the style of the home

## LOT ELEMENTS

### *Grading and Drainage*

The natural landforms and drainage patterns of the site must be preserved. Inappropriate or incompatible house design to the building grade plan will not be approved. Builders must respond to lot slope with an appropriate house design. Lots have been designated that are appropriate for walkout and walkout split (garden level) designs.

Unless otherwise noted in writing prior to house construction, all retaining walls are the responsibility of the builder/owner.

Prominece, its Architectural Reviewer, and Prominence's consultants do not take any responsibility for inter-lot grades and for any retaining walls which may be required on or between lots. Inter-lot (property line) retaining walls must be installed and paid for by the first Builder affecting grades adjacent to the property line in such a way as to necessitate a retaining wall (i.e. increasing finished grade beyond 3:1 slope). Any disputes that may arise regarding responsibility for inter-lot grades and/or retaining walls are to be resolved by the Builder and their contractors. Should a dispute not be resolved prior to Prominence obtaining final acceptance of the subdivision by the Town of Okotoks for overland drainage or final acceptance for lanes, then the required grading and/or walls may be built by Prominence and charged back equally to the Builders of the two lots plus an administrative fee.

All retaining walls constructed by the Builder and/or the homeowner must conform to the specifications of the Town of Okotoks and must be designed to tie into the character of the house and site. Retaining walls should appear as extensions of the house or integral parts of courtyards and terraces. Retaining walls should not exceed 1.22m (4'-0") in height. Any drop greater than 4'-0" must be resolved with a series of retaining walls in a stepped manner.



Retaining walls of stone, timber and finished concrete are encouraged and will help relate the home to the site. Colours should be chosen to coordinate with and complement the house. Poured concrete walls without some sort of articulation will not be permitted.

Grade should always slope away from the house. Where the rear grade elevation is higher than the grade around the house, swales should be constructed to direct the drainage away from the house. They should be placed approximately 10 feet from the house at a minimum 2% slope away from the house.

### *Driveways and Walkways*

Each lot is allowed one driveway opening. Driveways and front sidewalks are to be constructed of broom finished concrete. Decorative borders of stone or brick compatible with that used on the house are encouraged as is the use of exposed aggregate and stone or concrete pavers.

**Required:**

Driveways and Front Walks to be constructed of broom finished concrete

**Points:**

2	Finish with exposed aggregate
2	Stamped or decorative concrete
1	Decorative border of stone or brick
3	Finish with stone or concrete pavers
2	Front walk to Entry separate from the driveway
2	Driveway width tapers and narrows as it meets the street

### *Lot Fencing*

The rear/side property line fence for lots backing onto or siding onto the open space amenities (including the Municipal Reserve and access trails) are developer -installed fencing.

Dual fencing or secondary fencing is not permitted. Only one fence on the dividing property line is permitted. Fencing in the front yard will not be permitted.

If the heights of sections of fence vary, an appropriately sloped transition from one height to the other is required.

## Landscaping

A landscaping plan must be submitted with the architectural approval. Once the homeowner takes possession of the home, all landscaping on the lot (front, side, and rear) must be complete within the first growing season. Artificial hard landscaping should be minimized unless xeriscaping principals are used. Lawns are to be kept neat and manicured. Plants should be arranged in clusters rather than straight rows or as individuals and should blend with the natural vegetation.

For Block 1, Lots 17-27, backing onto the escarpment, there may be additional restrictions on the property as it pertains to the rear yard. Please verify the registered caveats for more information.

Each lot should have at minimum 1 tree each in the front and rear yard at 50mm caliper at the time of planting. In addition, the front yard should have at minimum 4 shrub beds with each shrub 400mm spread at the time of planting. Trees and shrubs shall be selected from the following plant list, chosen for beauty and hardiness in the Alberta climate.

### Coniferous Trees:

Colorado Spruce  
Lodgepole Pine  
Mountain Pine

*Picea Pungens*  
*Pinus Contorta Latifolia*  
*Pinus Ucinata*

### Deciduous Shade Trees:

Paper Birch  
Foothills Green Ash  
Prairie Spire Green Ash  
Brandon Elm

*Betula Papyrifera*  
*Fraxinus Pennsylvanica 'Heuver'*  
*Fraxinus Pennsylvanica 'Prairie Spire'*  
*Ulmus Americana 'Brandon'*

### Ornamental Flowering Deciduous Trees:

Rosthern Crabapple  
Spring Snow Crabapple  
Thunderchild Crabapple

*Malus Baccata 'Rosthern'*  
*Malus 'Spring Snow'*  
*Malus 'Thunderchild'*

### Required Elements:

- Two 50mm caliper trees, one each in front and rear yards
- Four 400mm spread shrubs in front yard

### Points:

2	Use of stones matching home exterior as a landscape feature
1-3	Significant use of ornamental plants
1-3	Additional plantings beyond the minimum

**Ornamental Flowering Deciduous Trees: (cont.)**

Mayday	<i>Prunus Padus Commutata</i>
Schubert Chokecherry	<i>Prunus Virginiana 'Schubert'</i>
Ussurian Pear	<i>Pyrus Ussuriensis</i>
Russian Mountain Ash	<i>Sorbus Aucuparia 'Rossica'</i>
Japanese Tree Lilac	<i>Syringa Reticulata 'Japanese Tree'</i>

**Coniferous Shrubs:**

Blue Prince Junipers	<i>Juniperus Horizontalis 'Blue Prince'</i>
Prince of Wales Juniper	<i>Juniperus Horizontalis 'Prince of Wales'</i>
Arcadia Juniper	<i>Juniperus Sabina 'Arcadia'</i>
Calgary Carpet Juniper	<i>Juniperus Sabina 'Calgary Carpet'</i>
Scandia Juniper	<i>Juniperus Sabina 'Scandia'</i>
Dwarf Mugho Pine	<i>Pinus Mugo 'Pumilio'</i>

**Ornamental Flowering Deciduous Shrubs:**

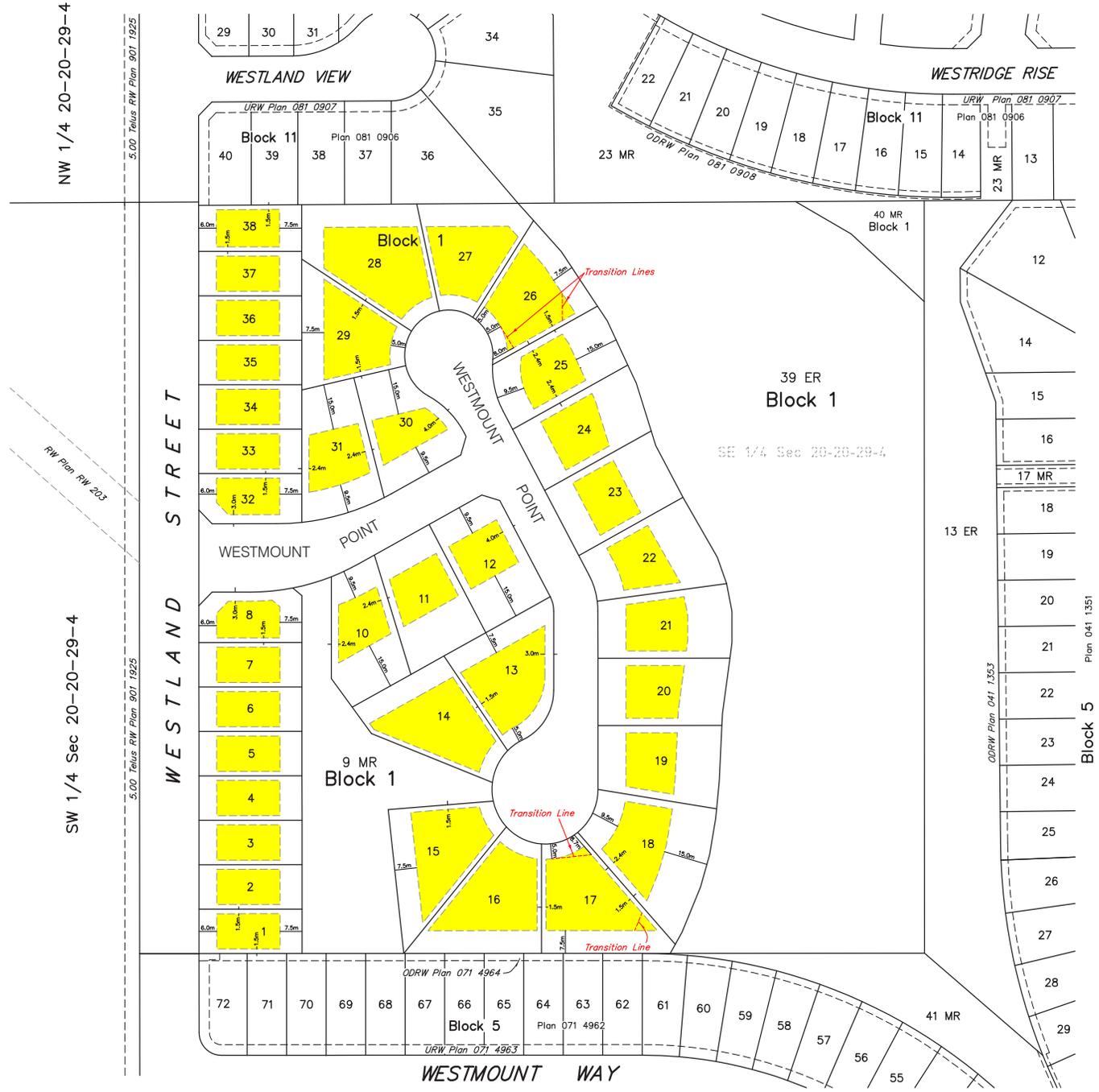
Ninebark Sp.	<i>Physocarpus Sp.</i>
Potentilla Sp.	<i>Potentilla Sp.</i>
Russian Almond	<i>Prunus Tenella</i>
Nanking Cherry	<i>Prunus Tomentosa</i>
Double Flowering Plum	<i>Prunus Triloba 'Multiplex'</i>
Prickly Rose	<i>Rosa Acicularis</i>
Blue Fox Willow	<i>Salix brachycarpa 'Blue Fox'</i>
Spiraea Sp.	<i>Spiraea Sp.</i>
Lilac Sp.	<i>Syringa Sp.</i>

**Ornamental Fall Colour Deciduous Shrubs:**

Amur Maple	<i>Acer Ginnala</i>
Hedge Cotoneaster	<i>Cotoneaster Acutifolia</i>
Burning Bush Sp.	<i>Euonymus Sp.</i>
Gooseberry	<i>Ribes Hirtellum</i>
Cranberry Sp.	<i>Viburnum Sp.</i>



# Appendix 1: Setback Plan



NW 1/4 20-20-29-4

SW 1/4 Sec 20-20-29-4

5.00' Telus RW Plan 907 1925

5.00' Telus RW Plan 907 1925

RW Plan RW 203

ODRW Plan 041 1353

Plan 041 1351

ODRW Plan 071 4964

Plan 071 4962

URW Plan 071 4963

WESTLAND VIEW

WESTRIDGE RISE

WESTLAND STREET

WESTMOUNT WAY

